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Planning Commission Date: January 14, 2004

Item No.

## MILPITAS PLANNING COMMISSION AGENDA REPORT

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Category: Public Hearing

Report prepared by: Staci Pereira

Public Hearing: Yes: X No: \_\_\_\_\_

Notices Mailed On: 11-28-03

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**TITLE:** USE PERMIT NO. UP2003-47

**Proposal:** A request to operate a cafe, Starbuck's, with 34 indoor and 13 outdoor seats in an existing 2,010 square foot retail space without providing thirteen (13) required parking spaces.

**Location:** 1487 Landess Avenue (APN 88-35-011)

**RECOMMENDATION:** Approval with conditions.

**Applicant:** Starbucks Coffee Company, Attn: Zeden Jones, 455 North Point, 2<sup>nd</sup> Floor, San Francisco, CA 94133

**Property Owner:** Fair Oaks Technology Park, Attn: Ted Suyeyasu, 19152 Camino Barco, Saratoga, CA 95070

**Previous Action(s):** "S" Zone approval and amendments, use permit approvals and amendments

**Environmental Info:** Exempt

**General Plan Designation:** General Commercial

**Present Zoning:** General Commercial

**Existing Land Use:** Shopping center

**Agenda Sent To:** Applicant and owner (both noted above)

**Attachments:** Site and floor plans, letter from applicant, Resolution No. 449, memo from Transportation Planning Division dated December 18, 2003

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PJ No. 2357

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## **BACKGROUND**

On June 4, 1987, the Planning Commission approved an "S" Zone Application for two retail pad buildings, one 10,020 square feet and the other 8,000 square feet on Landess Avenue in front of the Home Depot building. An "S" Zone Approval amendment for a multi-tenant monument sign was approved on May 23, 1990 in response to numerous temporary signs issues with the tenants. The Planning Commission approved subsequent use permit approvals for restaurants and cafes.

### **Site Description**

The site is located on the north side of Landess Avenue, east of Interstate 680, between Dempsey Road and S. Park Victoria. The site is developed with two multi-tenant retail buildings (approximately 18,020 square feet) and a 80,700 square feet building at the rear occupied by Home Depot Pro. Access to the site is via Landess Avenue and Dempsey Road.

Neighboring land uses include the Stonegate Development PUD to the north (89 single-family homes). The French Court PUD (20 single-family homes) is also adjacent to the site. Land uses to the south, west and east include commercial uses.

## **THE APPLICATION**

This Use Permit application is submitted pursuant to Section 18.03-17 (restaurant as a conditional use in the Neighborhood Commercial "C1" District) and Section 57 (Conditional Use Permits) of the Milpitas Zoning Ordinance.

The applicant proposes to operate a café, Starbuck's, including 34 indoor and 13 outdoor seats and retail sales of coffee-related merchandise within a 2,010 square foot tenant space. The café would operate from 6 AM to 10 PM daily.

The plans submitted propose a interior tenant improvement to the existing retail space that includes two new accessible restroom, dining area for the interior seating, take-out area of approximately 235 square feet, back bar for coffee drink preparation and service counter, and a workroom with storage and an employee area. The exterior seating would be located along the east and south cement walkways immediately adjacent to the tenant space.

### **Conformance with the General Plan and Zoning Ordinance**

The proposed project complies with the City's General Plan in terms of land use. The proposed use does not conflict with any General Plan Principles and Policies, and is consistent with Implementing Policy 2.1-I-3, which encourages economic pursuits that will strengthen and promote development through stability and balance. It is also consistent with Policy 2.a-I-6, which endeavors to maintain a balanced economic base that can resist downturns in any one economic sector.

The proposed project is located in the General Commercial ("C2") District and is permitted conditionally in this district upon approval of a conditional use permit. In addition, the project is consistent with the district's purpose and intent in that it complements the essential residential

character of the area and provides the day-to-day shopping needs of the residential neighborhood by providing a restaurant within close proximity to homes.

### **Seats and Parking**

When the building was constructed, parking was provided at a ratio of 1 space per 200 square feet given a retail use with 24 excess spaces. Based on the proposed tenant space size of 2,010 square feet, this space has 10 parking spaces allocated to it. Based on the parking schedule for restaurants which are of the fast food and take-out type, such as cafes, the 47 seats proposed would require 19 spaces (1 space per 2.5 seats) and the 235 square foot take-out area would require 4 spaces (1 space per 50 square feet). Therefore, the total 23 spaces required for the project exceeds the 10 spaces allotted to the tenant space and a parking reduction of 13 spaces would be necessary.

A parking study was performed by Fehr & Peers Transportation Associates in November 2003 for the shopping center which includes the building pad immediately across the parking lot and the Home Depot Pro site. These buildings all share the same accessways and parking spaces on the site, as noted in the Reciprocal Easement and Operations Agreement recorded between the properties. The total site has 559 spaces, 439 of which are available for public parking since some of the spaces are within a gated area behind the Home Depot Pro building and are not accessible. The study revealed a peak demand of 151 occupied spaces occurred on Thursday at 12:00 PM. As concluded in the attached memo from the Transportation Division, a peak parking demand at approximately 62% occupancy could accommodate the applicant's request for a parking reduction of 13 spaces. In addition, as noted in the letter of description from the applicant, the typical peak business hours for the café would be in the early morning from 6 AM to 9 AM, which would not conflict with the shopping center's peak period. Therefore, staff concludes that there is currently enough capacity (approximately 244 vacant spaces) to accommodate the 13-space parking reduction and no adverse impacts to the current parking situation would result from the proposed use.

### **Conformance with Resolution No. 449 for Outdoor Seating**

The proposed project is consistent with the applicable guidelines for outdoor seating that are established in Resolution No. 449. The outdoor seating area consist of thirteen (13) chairs and seven (7) tables, along with 2 trash receptacles, south of the cafe entrance and along the south perimeter of the café on sidewalk. The outdoor furniture is composed of sturdy metal table and chairs that are not fixed and would be brought in each night after store hours. The proposed location of the tables and seating would not impede any pedestrian movement or interfere with parking or loading and service areas. *Staff recommends* carrying over several guidelines in the form of conditions of approval that will assist in the continued maintenance of the outdoor seating area, including a 6-month review to assure the outdoor seating arrangement is meeting the applicable guidelines of Resolution No. 449.

### **Odors, Waste, Urban Runoff Management**

There are potential impacts from waste generated by the café that may produce odors if not properly handled or if spilled when transported to the on-site trash enclosure. In addition, urban

runoff pollution may occur if food waste is spilled in the trash enclosure area and rainfall or other water washes it into the storm drains. Therefore, **staff recommends** special conditions addressing these potential impacts. These are similar conditions attached to other recent restaurant approvals in the City given the recent approval of new, stricter urban runoff-related requirements by the Santa Clara Valley Water Management District.

The existing solid waste enclosure and its capacity have been found insufficient to handle the additional waste generated by the proposed use. The **Engineering and Planning Divisions recommend** conditions of approval that will require the applicant to enlarge the existing enclosure to accommodate the larger bins, which will need to be constructed and fully operational prior to the Certificate of Occupancy issuance. Details of the expansion of the enclosure into the existing landscape area will be submitted with the building permit and may reviewed and approved by Planning staff.

### **Neighborhood/Community Impact**

The proposed cafe would be one of several retail and eatery establishments within the shopping center, which has been zoned and designed for such tenants. The hours of operation proposed, 6 AM to 10:00 PM Monday through Sunday, do not conflict with any other uses in the area and are not expected to cause an increase in existing noise levels. As conditioned, the proposed project is not anticipated to create any significant parking, traffic, odor, noise, or other adverse impacts on the community.

### **Conformance with CEQA**

The proposed project is categorically exempt from further environmental review pursuant to Class 1, Section 15301 ("Existing Facilities"—"... permitting, ... licensing ... of existing ... private structures ... involving negligible or no expansion of use beyond that existing at the time of the lead agency's determination") of the California Environmental Quality Act (CEQA) Guidelines.

### **RECOMMENDATION**

Close the Public Hearing. Approve Use Permit No. UP2003-47 based on the Findings and Special Conditions of Approval listed below.

### **FINDINGS**

1. The proposed project is consistent with the General Plan in terms of land use and Policies 2.a-I-6 and 2.1-I-3, which encourage economic pursuits that strengthen and promote development and that can resist downturns in any one economic sector.
2. The proposed use is consistent with the intent of the General Commercial "C2" District in that it complements the essential residential character of the area and provides the day-to-day shopping needs of the residential neighborhood by providing a cafe within close proximity to homes and in that the district permits such uses with a Use Permit.

3. The proposed use is not expected to generate an increase in noise levels and, as conditioned, is not anticipated to affect parking and traffic, or generate odors or health and safety hazards impacting the surrounding area or nearby residential neighborhoods and therefore will not be detrimental or injurious to the public health, safety and general welfare.
4. The proposed project is categorically exempt from further environmental review pursuant to Class 1, Section 15301 (Existing Facilities) of the State CEQA Guidelines.

### **SPECIAL CONDITIONS**

1. The approval of Use Permit No. UP2003-47 is for a 2,010 square foot café with 37 indoor and 13 outdoor seats and a 235 square foot take-out area without providing 13 additional parking spaces as shown on approved plans dated January 14, 2004, except as may be otherwise modified by these conditions of approval. Modifications to the proposed use may require review and approval by the Planning Commission of an amendment to this Use Permit. (P)
2. The maximum approved number of seats (indoor and outdoor) is 47. Prior to issuance of a certificate of occupancy for this use, a sign measuring at least 8 1/2 inches by 11 inches shall be placed in a conspicuous location near the restaurant front entrance stating:

*"Maximum seats: 47, as per Use Permit No. UP2003-47 granted by the Planning Commission on January 14, 2004."*

The minimum letter height of "Maximum seats: 47" shall be at least 3/4 inch.

3. All roof-top equipment shall be shielded from view in a manner to the approval of the Planning Commission or its designee as specified in Section XI-10-42.10-2 of the Milpitas Municipal Code. Prior to the issuance of any permit for any roof-top equipment which projects above the height of any existing parapet wall or screen, detailed architectural plans for the screening of this equipment and/or line-of-sight view analysis demonstrating that the equipment will not be visible from surrounding view points shall be reviewed and approved as specified in Section XI-10-42.10-2 of the Milpitas Municipal Code, in order to assure the screening of said equipment is in keeping with and in the interest of good architectural design principles. (P)
4. This use shall be conducted in compliance with all appropriate local, state and federal laws and regulations. (P)
5. The business owner shall hold training sessions to instruct their employees on the proper procedures in the handling and disposal of food items; the general maintenance and use of the compactor and any other procedures that would assist the business in complying with all state and local health and sanitation standards (refer to the County of Santa Clara Department of Environmental Health at (408) 729-5155 for their guidelines). (P)
6. The business owner shall post signs (in English and in one of the following languages: Vietnamese, Chinese, Filipino, Spanish or other applicable language) inside the premises for all employees, which identify procedures for the food delivery and disposing of garbage prior to the issuance of a certificate of occupancy. (P)

7. The preparation and storage of food is not permitted outside of the establishment. (P)
8. Washing of containers, equipment, and floor mats shall be conducted in the kitchen area so that wash water may drain into the sanitary sewer in perpetuity. (P)
9. As per Resolution No. 449, the following shall be maintained in perpetuity:
  - a) All tables shall be cleaned after the diners have vacated the premises;
  - b) A trash receptacle shall be located in the general vicinity of the outdoor seats;
  - c) All tables, seats and umbrellas shall be uniform in design, sturdy and be of durable quality and relatively maintenance free;
  - d) The minimum 4-foot aisle-ways shall be maintained at all times and shall not be obstructed with tables, chairs or trash receptacles;
  - e) After hours, all tables, chairs and umbrellas shall be removed from the pedestrian aisle and placed inside the restaurant for overnight storage. Storage in front of the business is not acceptable;
  - f) Umbrellas used in conjunction with the tables shall have a clearance height so as not to hinder pedestrians and should not be used or placed under eaves, canopies or overhangs; and
  - g) Outdoor seating shall not encroach in front of any other business except that which the use permit applies. (P)
10. As per Resolution No. 449, a six-month review (from the date of certificate of occupancy issuance) shall occur to assure that the outdoor arrangement of the seating area is in conformance with the applicable guidelines. (P)
11. Prior to issuance of a certificate of occupancy, the business owner shall submit a report detailing a program assigning restaurant staff perpetual responsibility for complying with the following guidelines: (P)
  - a. Keep garbage dumpsters clean inside and out; replace dirty or leaking dumpsters with new, clean ones.
  - b. Double or triple bag waste to prevent leaking.
  - c. Place, do not drop or throw, waste-filled bags, to prevent leaking.
  - d. Keep the ground under and around the garbage dumpsters swept.
  - e. Sprinkle the ground lightly after sweeping with a mixture of water and a little bleach.
  - f. It is expected that Best Management Practices for solid waste handling will advance over time, thus it is the expectation that the applicant will modify their practices in accordance with future standards.
12. If at the time of application for building permit there is a project job account balance due to the City for recovery of review fees, review of permits will not be initiated until the balance is paid in full. (P)

13. If at the time of application for a certificate of occupancy there is a project job account balance due to the City for recovery of review fees, a certificate of occupancy shall not be issued until the balance is paid in full. (P)
14. Should the applicant propose a new or opt to enlarge the existing trash enclosure (per Condition of Approval No. 15), Planning staff shall review plans to ensure the proper location and that the enclosure complements the architecture and colors of the existing building. (P)
15. Prior to occupancy permit issuance, applicant/property owner shall construct a new trash enclosure or expand the existing enclosure to hold up to three (3) solid waste bins (2 trash for separate account and one shared recycling account). The proposed enclosure shall be designed per the Development Guidelines for Solid Waste Services. City review/approval is required prior to construction of the enclosure. (E)
16. Applicant shall be responsible for the trash collection and recycling services account. Prior to occupancy permit issuance, the applicant shall submit evidence to the City that the following minimum refuse and recycling services have been subscribed with BFI for commercial services:
  - A. An adequate level of service for trash collection, minimum of one 3cyd bin collected 2X/week.
  - B. An adequate level of recycling collection, minimum of one 3cyd bin collected 2X/week.After the applicant has started its business, BFI commercial representative shall determine the adequacy of the solid waste level of services. If services found to be inadequate, the applicant shall increase the service to the level determined by the evaluation. For general information, contact BFI at (408) 432-1234, x-264. (E)
17. The developer shall submit a Sewer Needs Questionnaire and/or Industrial Waste Questionnaire with the building permit application and pay the related fees prior to Building Permit issuance by the Building Division. Contact the Land Development Section at (408) 586-3329 to obtain the form(s). (E)

Planning Division = (P)

Engineering Division = (E)



October 22, 2003

Staci Pereira  
Planning Department  
City of Milpitas  
455 E. Calaveras Blvd.  
Milpitas, CA 95035

RE: Amended Conditional Use Permit Application for  
Starbucks Coffee Company at ~~1230 Broadway, Burlingame~~

1487 LANDESS AVENUE, MILPITAS.

To Whom It May Concern,

I wanted to take the opportunity to address the Planning Department with a Letter of Explanation. Starbucks Coffee Company is truly excited about this eighth location in Milpitas at 1487 Landess Avenue and we feel that our use will be a fine addition to this neighborhood.

Starbucks Coffee Company hires local employees (approximately four per shift and at least fifteen total). Our doors are open 6 am to 10 pm daily. We contribute generously to our community and conduct on-site workshop to educate our patrons about coffee. Our use will not impact the existing congestion. Our peak business hours are in the early morning (6 am until 9 am), which is the time when our parking demand is highest. During these hours, a majority of our neighbors are closed for business. Hence, our off-setting day parts are complimentary and we feel that parking will not be an issue.

If you have any questions or concerns as we construct and open our stores, please feel free to contact me at the number listed below.

Sincerely,

A handwritten signature in cursive script, appearing to read "Zeden Jones".

Zeden Jones  
Construction Manager  
Starbucks Coffee Company  
455 North Point, San Francisco, CA 94133

(415) 241-0256 x 2293 (415) 227-9991 fax

# MEMORANDUM

*Department of Planning & Neighborhood Services*

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**To:** Staci Pereira, Planning  
**From:** Janice Nadal, Transportation Planning  
**cc:** Joe Oliva, Transportation Planning  
**Subject:** Starbucks Applicant Proposal- Parking Study  
**Date:** December 18, 2003

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As per Transportation Planning's request, Starbucks, proposed to be located at 1487 Landess Avenue, performed a parking study on Thursday, November 20, 2003 and Saturday, November 22, 2003, every half hour from 7:00 am until 4:00 pm

The applicant proposed to have 47 seats (34 indoor & 13 outdoor), requiring a total of 18 parking spaces with a 13 parking space reduction. Located in the shopping center are a few small retail and restaurants and a Home Depot for contractors only. There are a total number of 559 parking spaces on-site, 439 of which area available for public parking.

From the parking study, peak parking demand occurred on Thursday at 12:00 pm with 151 parked vehicles.

With the parking demand at approximately 62% occupancy during peak parking demand Transportation Planning concludes there is adequate parking to accommodate the applicant's request for 13 parking spaces reduction.

If you have any questions, feel free to contact me at x3291 or Joe Oliva at x3290.

jn: attachment

## **RESOLUTION NO. 449**

### **A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF MILPITAS APPROVING GUIDELINES FOR OUTDOOR SEATING AT RESTAURANTS**

**WHEREAS**, the City Planning Commission regards the appearance of restaurants in the city as being important to the community, and its environs, and

**WHEREAS**, the City Planning Commission recognizes the desires of those businesses and patrons, to the restaurants, to have this type of outdoor service in addition to indoor seating, and

**WHEREAS**, the Planning Commission decrees that these guidelines are adopted in the interest of creating economic vitality architectural compatibility through design and maintaining the public's health and welfare; however, the spirit and intent of the guidelines is of utmost importance, and any restaurant seeking approval for outdoor seating will be reviewed using this resolution as a guide.

**NOW, THEREFORE, BE IT RESOLVED** that the following guidelines shall apply to those restaurants who have outdoor seating:

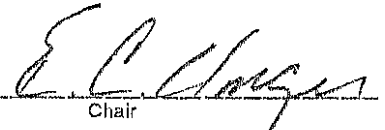
1. Wherever possible, outdoor seating areas shall be within an enclosed area. Fences or walls shall be compatible in style and material with the main structure on a site.
2. To avoid the monotony of long solid walls and fences around the perimeter of the outdoor seating area, variation in height, texture and color of the wall or fence is recommended.
3. Outdoor seating shall not encroach in front of any other business except that which the Use Permit applies.
4. Outdoor seats or other obstacles shall not interfere with any pedestrian movement within a shopping center and shall have aisle-ways a minimum of four (4 ) contiguous feet in width. It shall be the responsibility of the business to ensure that the minimum four (4) foot aisle-ways are maintained at all times.
5. Outdoor seats shall be separated from any pedestrian and automobile traffic paths and shall minimize conflict areas for safety.
6. Outdoor seats placement shall provide for walkways to connect adjacent parking lots to building entrances.
7. Outdoor seats shall not interfere with any designated bicycle parking area or facility.
8. Outdoor seating shall be located away from any service/loading areas.
9. All tables, seats and umbrellas shall be uniform in design, sturdy and be of a durable quality, and relatively maintenance free.

10. All tables shall be cleaned after the diners have vacated the premises.
11. Umbrellas used in conjunction with tables shall have a clearance height so as not to hinder pedestrians. The use of umbrellas under eaves, canopies or overhangs is discouraged.
12. After the dining hour is completed, all tables, umbrellas, and chairs shall be removed from the pedestrian aisle and be placed (stacked, etc.) inside the restaurant. Storage in front of the business is not acceptable unless it is within an enclosed dining area.
13. A trash receptacle shall be located in the general vicinity of the outdoor seats.
14. All approved outdoor seating shall comply with the parking requirements of the zoning ordinance (similar to indoor seating).
15. Each table and seat shall show the name of the restaurant to which it belongs.
16. Approval of the Use Permit, to permit outdoor tables and seats, shall be subject to no less than a one time six month review by the Planning Commission to assure that the outdoor arrangements are meeting the applicable guidelines of this Resolution.

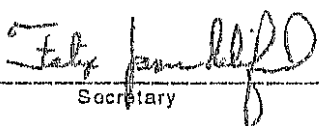
PAST AND ADOPTED this 10th day of November, 1993, by the following vote:

AYES:	Commissioners:	Brown, Ciardella, Dixon, Manayan, Spencer, Unger, Wong
NOES:	Commissioners:	None
ABSENT:	Commissioners:	None
ABSTAIN:	Commissioners:	None

APPROVED:

  
Chair

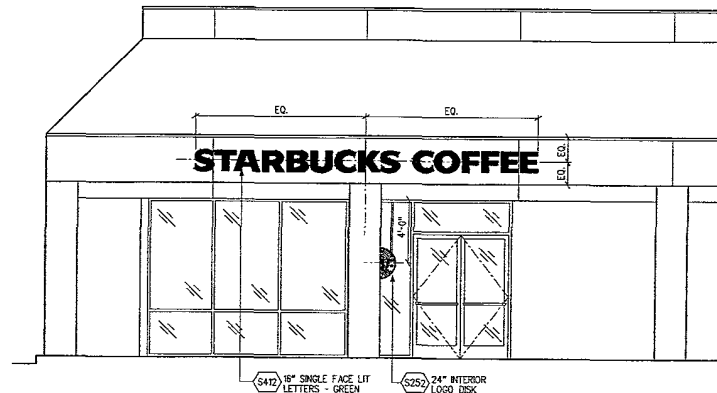
ATTEST:

  
Secretary

<p><b>ABBREVIATIONS:</b></p> <table><tr><td>ACC</td><td>ACCESSIBLE</td><td>HW</td><td>HARDWARE</td></tr><tr><td>ACT</td><td>ACROSTICAL CEILING TILE</td><td>HW</td><td>HELLON METAL</td></tr><tr><td>ADJ</td><td>ADJUSTABLE</td><td>HORZ</td><td>HORIZONTAL</td></tr><tr><td>AF</td><td>ABOVE FINISHED FLOOR</td><td>HR</td><td>HOUR</td></tr><tr><td>ALUM</td><td>ALUMINUM</td><td>HWAC</td><td>HEATING VENTILATING AIR CONDITIONING</td></tr><tr><td>APPROX</td><td>APPROXIMATE</td><td>IN</td><td>INSIDE</td></tr><tr><td>BLDG</td><td>BLOCKING</td><td>INT</td><td>INTERIOR</td></tr><tr><td>BDR</td><td>BOTTOM OF BEAM</td><td>INSIDE</td><td>INSIDE/INTERIOR FACE</td></tr><tr><td>BLDG</td><td>BUILDING</td><td>INFO</td><td>INFORMATION</td></tr><tr><td>CAB</td><td>CABINET</td><td>INFO</td><td>INFORMATION</td></tr><tr><td>CLG</td><td>CEILING</td><td>JC</td><td>JOB CAPTAIN</td></tr><tr><td>CLR</td><td>CLEAR/CLEARANCE</td><td>LI</td><td>LANDLORD</td></tr><tr><td>CMU</td><td>CONCRETE MASONRY UNIT</td><td>MAX</td><td>MAXIMUM</td></tr><tr><td>CTR</td><td>CENTER</td><td>MECH</td><td>MECHANICAL</td></tr><tr><td>C.L.</td><td>CENTER LINE</td><td>MECH</td><td>MECHANICAL CONTRACTOR</td></tr><tr><td>CUL</td><td>CULMINATION</td><td>MEP</td><td>MECHANICAL, ELECTRICAL AND PLUMBING</td></tr><tr><td>CONC</td><td>CONCRETE</td><td>MFG</td><td>MANUFACTURER</td></tr><tr><td>CONT</td><td>CONTINUOUS</td><td>MIN</td><td>MINIMUM</td></tr><tr><td>CONST</td><td>CONSTRUCTION</td><td>MOD</td><td>MODIFYING</td></tr><tr><td>CT</td><td>CERAMIC TILE</td><td>MTL</td><td>METAL</td></tr><tr><td>CT</td><td>CERAMIC TILE</td><td>NAT</td><td>NATURAL</td></tr><tr><td>DEG</td><td>DEGREES</td><td>NIC</td><td>NOT IN CONTRACT</td></tr><tr><td>DIL</td><td>DETAIL</td><td>NTS</td><td>NOT TO SCALE</td></tr><tr><td>DIA</td><td>DIAMETER</td><td>OC</td><td>OVER ALL</td></tr><tr><td>DIM</td><td>DIMENSION</td><td>OD</td><td>OUTSIDE DIAMETER</td></tr><tr><td>DISP</td><td>DISPENSER</td><td>OF</td><td>OUTSIDE FACE</td></tr><tr><td>DN</td><td>DOWN</td><td>OPNG</td><td>OPENING</td></tr><tr><td>DWG(S)</td><td>DRAWING(S)</td><td>PC</td><td>PLUMBING CONTRACTOR</td></tr><tr><td>EC</td><td>ELECTRICAL CONTRACTOR</td><td>PLAM</td><td>PLASTIC LAMINATE</td></tr><tr><td>ELEV</td><td>ELEVATION</td><td>PLYMD</td><td>PLYWOOD</td></tr><tr><td>ELEC</td><td>ELECTRICAL</td><td>PM</td><td>PROJECT MANAGER</td></tr><tr><td>EQUIP</td><td>EQUIPMENT</td><td>PT</td><td>PAINT</td></tr><tr><td>EX</td><td>EXISTING</td><td>QT</td><td>QUARRY TILE</td></tr><tr><td>EXP</td><td>EXPOSED</td><td>RAD</td><td>RADIUS</td></tr><tr><td>EXT</td><td>EXTERIOR</td><td>REF</td><td>REFERENCE</td></tr><tr><td>F</td><td>FINISH FLOOR ELEV</td><td>REQ'D</td><td>REQUIRED</td></tr><tr><td>FC</td><td>FACE OF CABINET</td><td>REV</td><td>REVISED/REVISION</td></tr><tr><td>FDS</td><td>FACE OF GLAZING</td><td>SC</td><td>SOLID CORE SHEET</td></tr><tr><td>FDP</td><td>FACE OF STUD</td><td>SIM</td><td>SIMILAR</td></tr><tr><td>FDP</td><td>FACE OF STUD</td><td>SOL</td><td>SOLID</td></tr><tr><td>FID</td><td>REINFORCED PANEL</td><td>SQ</td><td>SQUARE</td></tr><tr><td>FID</td><td>FURNISHED &amp; INSTALLED</td><td>SPCS</td><td>SPECIFICATIONS</td></tr><tr><td>FLR</td><td>FLOOR</td><td>SS</td><td>STAINLESS STEEL</td></tr><tr><td>FT</td><td>FOOT/FEET</td><td>STL</td><td>STEEL</td></tr><tr><td>FW</td><td>FIELD VERIFY</td><td>STO</td><td>STORAGE</td></tr><tr><td>GA</td><td>GAUGE</td><td>SUSP</td><td>SUSPENDED</td></tr><tr><td>GALV</td><td>GALVANIZED</td><td>TEL</td><td>TELEPHONE</td></tr><tr><td>GC</td><td>GENERAL CONTRACTOR</td><td>TEMP</td><td>TEMPORARY</td></tr><tr><td>GWB</td><td>GYP/SUM WALL BOARD</td><td>TYP</td><td>TYPICAL</td></tr><tr><td>H2</td><td>HOLLOW CORE</td><td>UNL</td><td>UNLESS OTHERWISE NOTED</td></tr><tr><td>HD</td><td>HEADER</td><td>VERT</td><td>VERTICAL</td></tr><tr><td>HW</td><td>HARDWOOD</td><td>VIF</td><td>VERIFY IN FIELD</td></tr><tr><td>HW</td><td>HARDWOOD</td><td>WH</td><td>WATER HEATER</td></tr><tr><td>HW</td><td>HARDWOOD</td><td>WO</td><td>WOOD</td></tr></table>	ACC	ACCESSIBLE	HW	HARDWARE	ACT	ACROSTICAL CEILING TILE	HW	HELLON METAL	ADJ	ADJUSTABLE	HORZ	HORIZONTAL	AF	ABOVE FINISHED FLOOR	HR	HOUR	ALUM	ALUMINUM	HWAC	HEATING VENTILATING AIR CONDITIONING	APPROX	APPROXIMATE	IN	INSIDE	BLDG	BLOCKING	INT	INTERIOR	BDR	BOTTOM OF BEAM	INSIDE	INSIDE/INTERIOR FACE	BLDG	BUILDING	INFO	INFORMATION	CAB	CABINET	INFO	INFORMATION	CLG	CEILING	JC	JOB CAPTAIN	CLR	CLEAR/CLEARANCE	LI	LANDLORD	CMU	CONCRETE MASONRY UNIT	MAX	MAXIMUM	CTR	CENTER	MECH	MECHANICAL	C.L.	CENTER LINE	MECH	MECHANICAL CONTRACTOR	CUL	CULMINATION	MEP	MECHANICAL, ELECTRICAL AND PLUMBING	CONC	CONCRETE	MFG	MANUFACTURER	CONT	CONTINUOUS	MIN	MINIMUM	CONST	CONSTRUCTION	MOD	MODIFYING	CT	CERAMIC TILE	MTL	METAL	CT	CERAMIC TILE	NAT	NATURAL	DEG	DEGREES	NIC	NOT IN CONTRACT	DIL	DETAIL	NTS	NOT TO SCALE	DIA	DIAMETER	OC	OVER ALL	DIM	DIMENSION	OD	OUTSIDE DIAMETER	DISP	DISPENSER	OF	OUTSIDE FACE	DN	DOWN	OPNG	OPENING	DWG(S)	DRAWING(S)	PC	PLUMBING CONTRACTOR	EC	ELECTRICAL CONTRACTOR	PLAM	PLASTIC LAMINATE	ELEV	ELEVATION	PLYMD	PLYWOOD	ELEC	ELECTRICAL	PM	PROJECT MANAGER	EQUIP	EQUIPMENT	PT	PAINT	EX	EXISTING	QT	QUARRY TILE	EXP	EXPOSED	RAD	RADIUS	EXT	EXTERIOR	REF	REFERENCE	F	FINISH FLOOR ELEV	REQ'D	REQUIRED	FC	FACE OF CABINET	REV	REVISED/REVISION	FDS	FACE OF GLAZING	SC	SOLID CORE SHEET	FDP	FACE OF STUD	SIM	SIMILAR	FDP	FACE OF STUD	SOL	SOLID	FID	REINFORCED PANEL	SQ	SQUARE	FID	FURNISHED & INSTALLED	SPCS	SPECIFICATIONS	FLR	FLOOR	SS	STAINLESS STEEL	FT	FOOT/FEET	STL	STEEL	FW	FIELD VERIFY	STO	STORAGE	GA	GAUGE	SUSP	SUSPENDED	GALV	GALVANIZED	TEL	TELEPHONE	GC	GENERAL CONTRACTOR	TEMP	TEMPORARY	GWB	GYP/SUM WALL BOARD	TYP	TYPICAL	H2	HOLLOW CORE	UNL	UNLESS OTHERWISE NOTED	HD	HEADER	VERT	VERTICAL	HW	HARDWOOD	VIF	VERIFY IN FIELD	HW	HARDWOOD	WH	WATER HEATER	HW	HARDWOOD	WO	WOOD	<p><b>APPROVAL STAMPS:</b></p>	<p><b>GENERAL NOTES:</b></p> <ol style="list-style-type: none"><li>AFTER STARBUCKS ACCEPTS THE BID FROM THE GENERAL CONTRACTOR (GC) IF THE GC HAS NOT ALREADY DONE SO FOR A PRIOR JOB, THE GC SHALL REVIEW AND EXECUTE STARBUCKS CONSTRUCTION MANAGEMENT AGREEMENT AND FOLLOW ITS REQUIREMENTS.</li><li>GC SHALL VISIT THE SITE, REVIEW THE BUILDING SHELL DRAWINGS AS SUBMITTED BY THE LANDLORD OR STARBUCKS SITE SURVEYOR AND BECOME THOROUGHLY FAMILIAR WITH THE SITE CONDITIONS PRIOR TO BIDDING OR CONSTRUCTION.</li><li>GC SHALL CONSULT WITH STARBUCKS CONSTRUCTION MANAGER (CM) TO RESOLVE ANY CHANGES, OMISSIONS OR PLAN DISCREPANCIES PRIOR TO BIDDING OR CONSTRUCTION.</li><li>FOR EACH PROJECT GC SHALL SUBMIT TO STARBUCKS CM A COMPLETE "CONTRACT PACKAGE" AS DESCRIBED IN THE CONSTRUCTION MANAGEMENT AGREEMENT AND EXECUTE STARBUCKS CONTRACT COVER SHEET FOR THE PROJECT PRIOR TO STARTING CONSTRUCTION ON THE PROJECT.</li><li>GC SHALL COORDINATE AND MANAGE ALL PORTIONS OF THE WORK AS DESCRIBED IN THE CONTRACT DOCUMENTS, WHICH INCLUDE, BUT ARE NOT LIMITED TO, CONSTRUCTION MANAGEMENT AGREEMENT, CONSTRUCTION SPECIFICATIONS, ARCHITECTURAL DRAWING AND MECHANICAL AND ELECTRICAL DRAWINGS.</li><li>ALL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH LOCAL, COUNTY, STATE AND FEDERAL CODES AND ORDINANCES.</li><li>GC SHALL VERIFY THE LOCATION OF ALL UTILITIES.</li><li>GC TO VERIFY ALL DIMENSIONS, INCLUDING CLEARANCES REQUIRED BY OTHER TRADES, AND NOTIFY STARBUCKS CM OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH THE WORK. ALL DIMENSIONS ARE TO THE FACE OF THE FINISHED SURFACE UNLESS NOTED OTHERWISE. ALL DIMENSIONS TO BE TAKEN FROM DESIGNATED DATUM POINT. DO NOT SCALE DRAWINGS.</li><li>GC SHALL PATCH AND REPAIR ALL EXISTING WALLS, FLOORS, CEILINGS OR OTHER SURFACES IDENTIFIED TO REMAIN THAT MAY BECOME DAMAGED DURING THE COURSE OF THE WORK.</li><li>THE GC IS RESPONSIBLE FOR OBTAINING PERMITS FOR FIRE PROTECTION, PLUMBING, MECHANICAL AND ELECTRICAL SYSTEMS PRIOR TO INSTALLATION OF SUCH SYSTEMS.</li><li>GC SHALL RETAIN ONE SET OF THE PLANS TO NOTE AND DOCUMENT ALL CHANGES DURING CONSTRUCTION. THIS SET SHALL BE A PART OF THE GC'S "STORE CLOSE-OUT PACKAGE" AS DESCRIBED IN THE CONSTRUCTION MANAGEMENT AGREEMENT.</li><li>GC IS RESPONSIBLE FOR COORDINATING DELIVERY OF MATERIALS FROM STARBUCKS CONTRACTED THIRD PARTY LOGISTICS (3PL) DISTRIBUTION SERVICES AND VENDOR DIRECT (VD) SUPPLIERS. REFER TO CONSTRUCTION MANAGEMENT AGREEMENT FOR METHODS AND LEAD TIMES.</li><li>RESPONSIBILITY FOR SUPPLY AND DELIVERY OF MATERIALS AND EQUIPMENT IS IDENTIFIED IN THE SCHEDULE DRAWING SHEETS (SC.1, SC.2 &amp; SC.3) UNDER THE COLUMN LABELED "SUPPLY". GC MEANS THE ITEM IS TO BE SUPPLIED BY THE GC. "3PL" MEANS AN ITEM IS SUPPLIED BY STARBUCKS VIA STARBUCKS CONTRACTED DISTRIBUTION SERVICES AND "VD" MEANS SUPPLIED BY STARBUCKS AND SHIPPED DIRECTLY TO THE SITE FROM THE VENDOR.</li></ol>	<p><b>LEGAL DESCRIPTION:</b></p> <p>ALL THAT CERTAIN PROPERTY SITUATED IN THE CITY OF MILPITAS, COUNTY OF SANTA CLARA, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS: ALL OF LOT 4 AS SHOWN ON THAT CERTAIN PARCEL MAP LOT 1 AND 2 AND A PORTION OF DEMPSEY ROAD AS SHOWN UPON THE PARCEL MAP RECORDED IN BOOK 546 OF MAPS AT PAGES 3 AND 4, WHICH MAP WAS FILED FOR RECORD DECEMBER 23, 1995 IN BOOK 553 OF MAPS AT PAGES 49 AND 50, SANTA CLARA COUNTY RECORDS, AND A CERTIFICATE OF CORRECTIONS RECORDED JULY 30, 1996 IN BOOK 4765, PAGE 2090, OFFICIAL RECORDS.</p> <p>TAX PARCEL # 088-35-01</p> <p><b>FIRE DEPARTMENT NOTES:</b></p> <ol style="list-style-type: none"><li>PROVIDE DOOR SIGN ON MAIN EXIT DOOR "THIS DOOR MUST REMAIN UNLOCKED DURING BUSINESS HOURS."</li><li>MEANS OF EGRESS ILLUMINATION - AT ANY TIME THE BUILDING IS OCCUPIED, THE MEANS OF EGRESS SHALL BE ILLUMINATED AT AN INTENSITY OF NOT LESS THAN 1 FOOT-CANDLE AT FLOOR LEVEL. UBC/1003.2.9</li><li>FIRE EXTINGUISHERS - ALL PORTIONS OF THE BUILDING SHALL BE WITHIN 75 FEET OF A FIRE EXTINGUISHER. THE MINIMUM SIZE OF THE EXTINGUISHER SHALL BE 2-A10-BC. UBC/1002.1</li><li>ADDRESS - APPROVED NUMBERS OR ADDRESSES SHALL BE PLACED ON ALL NEW AND EXISTING BUILDINGS IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. S4D NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. UBC/1004.4</li></ol>	<p><b>PROJECT INFORMATION:</b></p> <p><b>MAILING ADDRESS:</b> STARBUCKS COFFEE COMPANY 2401 UTAH AVENUE SOUTH MS STOP S-521 SEATTLE, WASHINGTON 98134 (206) 447-1575</p> <p><b>STORE PLANNER/DESIGNER:</b> DAVID WRIGHT (206) 318-7538 PHONE (206) 318-8424 FAX</p> <p><b>CONSTRUCTION MANAGER:</b> ZELEN JONES (415)241-0256 XT 2293 PHONE</p> <p><b>LANDLORD:</b> TED SUVEYASU PO BOX 2338 SARATOGA, CA 95070-0338 (408)867-8890 PHONE</p> <p><b>MEP CONSULTANT:</b> NAZAR MISHCHUK RANKO KOPRIVICA ACE'S ENGINEERING 101 W. EVELYN AVENUE SUITE 300 SUNNYVALE, CA 94086 (408)522-5255 PHONE (408)522-5260 FAX</p> <p><b>EXPEDIENT:</b> TOM PISKOR NORTH RIVAN INC. 3140 GOLD CAMP DRIVE SUITE 170 RANCHO CORDOVA, CA (916)531-1200 PHONE (916)531-1217 FAX</p> <p><b>PROJECT DESCRIPTION:</b> COMMERCIAL TENANT IMPROVEMENTS TO EXISTING BUILDING</p> <p><b>ZONING:</b> C2 GENERAL COMMERCIAL</p> <p><b>TYPE OF USE:</b> RETAIL SALES AND SERVICES</p> <p><b>TYPE OF OCCUPANCY:</b> B-BUSINESS</p> <p><b>TYPE OF CONSTRUCTION:</b> VN</p> <p><b>OCCUPANCY LOAD:</b> RETAIL: 477 S.F./ 30-15 SEATING: 660 S.F./ 15-44 BEVERAGE/PAEP: 160 S.F./200-1 W/STORAGE/STORAGE: 296 S.F./300-1</p> <p>TOTAL SQUARE FEET: 2010 S.F. EXTERIOR SEASONAL SEATING: 7 TAB</p> <p><b>RECEIVED</b> OCT 22 2003 CITY OF MILPITAS PLANNING DIVISION</p> <p><b>INDEX OF SHEETS:</b></p> <p><b>ARCHITECTURAL:</b></p> <ul style="list-style-type: none"><li>A1.0 PROJECT INFORMATION</li><li>A2.0 STOREFRONT ELEVATIONS &amp; SIGNAGE</li><li>A3.1 FLOOR PLAN</li><li>A3.2 CASEWORK &amp; GRAPHICS PLAN</li><li>A3.3 FLOOR FINISH PLAN</li><li>A4.0 COMPOSITE PLAN</li><li>A5.0 REFLECTED CEILING AND LIGHTING PLAN</li><li>A6.0 INTERIOR ELEVATIONS</li><li>A6.1 INTERIOR ELEVATIONS</li><li>A6.2 ENLARGED RESTROOM PLAN AND ELEVATIONS</li><li>A6.3 ENLARGED RESTROOM PLAN AND ELEVATIONS</li><li>A7.0 SECTIONS AND DETAILS</li><li>A7.1 SECTIONS AND DETAILS</li><li>A7.2 SECTIONS AND DETAILS</li><li>A7.3 SECTIONS AND DETAILS</li></ul> <p><b>SCHEDULES:</b></p> <ul style="list-style-type: none"><li>SC1 MSC, PLUMBING, A/C, HVAC SCHEDULES</li><li>SC2 LIGHTING, EQUIP., SCHEDULES</li><li>SC3 GRAPHICS, FURN., &amp; FINISH SCHEDULES</li></ul> <p><b>MECHANICAL/ELECTRICAL/PLUMBING:</b></p> <ul style="list-style-type: none"><li>M1.0 MECHANICAL SPECIFICATIONS</li><li>M2.0 HVAC PLAN</li><li>M3.0 TITLE 24-FORMS</li><li>M4.0 TITLE 24-FORMS &amp; DETAILS</li><li>E1.0 ELECTRICAL SPECIFICATIONS</li><li>E2.0 ELECTRICAL POWER PLAN</li><li>E3.0 ELECTRICAL LIGHTING PLAN</li><li>E4.0 TITLE 24-FORMS</li><li>P1.0 PLUMBING SPECIFICATIONS</li><li>P2.0 PLUMBING PLAN</li><li>P3.0 PLUMBING DETAILS</li><li>P4.0 DETAILS</li></ul>	<p><b>STARBUCKS COFFEE</b></p> <p><b>STARBUCKS COFFEE COMPANY</b> 2401 UTAH AVENUE SOUTH SEATTLE, WASHINGTON 98134 (206) 318-1575</p> <p>THESE PLANS AND SPECIFICATIONS AS WELL AS STARBUCKS NAME AND LOGO, TRADEMARKS AND SERVICE ARE THE EXCLUSIVE PROPERTY OF STARBUCKS CORPORATION. ANY REPRODUCTION, MODIFICATION, ALTERATION, OR USE OF THESE MATERIALS ON ANY PORTION OF THEM WITHOUT STARBUCKS' PRIOR WRITTEN CONSENT IS STRICTLY PROHIBITED.</p> <p><b>CONSULTANTS</b></p> <p>REV DATE JC DESCRIPTION</p>
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<p><b>VICINITY MAP:</b></p>	<p><b>SITE MAP:</b></p>	<p><b>LEGEND:</b></p> <ul style="list-style-type: none"><li>NORTH ARROW</li><li>BENCHMARK</li><li>SECTION NUMBER</li><li>SHEET NUMBER</li><li>ELEVATION</li><li>DETAIL NUMBER</li><li>DETAIL BUBBLE</li><li>SHEET NUMBER</li><li>FINISH SCHEDULE</li><li>REVISION</li><li>DATUM POINT</li><li>AFF HEIGHT TAGS</li><li>DOOR NUMBER</li><li>EQUIPMENT TAG</li><li>WALL TYPE TAG</li><li>APPLIED WALL TREATMENT TAG</li><li>CENTER LINE</li><li>REVISION CLOUD</li><li>SCALE BAR</li><li>DIMENSION LINE FROM FINISH FACE TO FINISH FACE</li></ul>	<p><b>STARBUCKS COFFEE</b></p> <p><b>LANDESS &amp; DEMPSEY</b></p> <p>1487 LANDESS AVENUE MILPITAS, CA 95035</p> <p>COUNTY: SANTA CLARA</p> <p>PROJECT NO. 12629-001 CONCEPT: EB - AROMA 3 ISSUE DATE: 9/25/03 PM: D. WRIGHT JC: D. BUSH CHECKED: C. OFFICER C. M. CHOD: ZELEN JONES</p> <p>SCALE: NO SCALE (DO NOT SCALE DRAWINGS)</p> <p>SHEET TITLE</p> <p><b>PROJECT INFORMATION</b></p> <p><b>A1.0</b></p> <p>PROJECT CODE: 1262901</p>																																																																																																																																																																																																																										

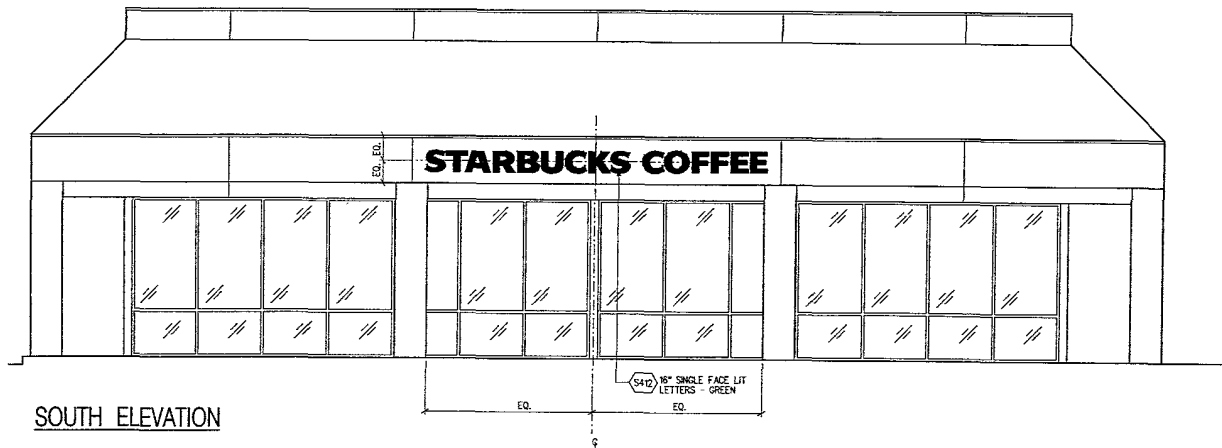


WEST ELEVATION



EAST ELEVATION

ALL SIGNAGE UNDER  
SEPARATE PERMIT



SOUTH ELEVATION

#### GENERAL NOTES

- NUMERICAL NOTES NOT LISTED ARE NOT USED.
- FOR FULL SCHEDULES, SEE SHEETS SC1 THROUGH SC3.
- STARBUCKS CONTRACTS DIRECTLY WITH SIGNAGE CONTRACTOR TO PERMIT, SUPPLY AND INSTALL SIGNAGE. SIGNAGE CONTRACTOR TO VERIFY SIGNAGE COMPLIANCE WITH LOCAL CODES AND OBTAIN PERMIT AND LANDLORD APPROVAL.
- SIGNAGE CONTRACTOR TO SUPPLY SHOP DRAWINGS TO STARBUCKS CM AND TO THE GC AS NEEDED. GC TO NOTIFY STARBUCKS CM IMMEDIATELY IF SHOP DRAWINGS OR INSTALLATION IS IN DISCREPANCY WITH STARBUCKS ARCHITECTURAL DRAWINGS.
- GC TO COORDINATE AND SCHEDULE SIGNAGE INSTALLATION WITH THE SIGNAGE CONTRACTOR PROVIDING A MINIMUM SCHEDULING NOTICE OF 4 WEEKS AND 1 WEEK PRIOR TO SCHEDULED DATE OF INSTALLATION. STARBUCKS CM TO PROVIDE GC WITH SIGNAGE CONTRACTOR CONTACT INFORMATION.
- GC TO PROVIDE 3" HIGH BLACK ACRYLIC STORE ADDRESS ON GLAZING ABOVE STOREFRONT, CENTER ABOVE DOORS WHERE POSSIBLE.

#### EXTERIOR ELEVATION NOTES

- SIGNAGE CONTRACTOR TO EXPEDITE SIGNAGE UNDER SEPARATE PERMIT.
- SIGNAGE CONTRACTOR SHALL VERIFY SIZE & LOCATION OF ANY & ALL ALLOWABLE MONUMENT OR POLE SIGNAGE WITH LL & PROVIDE SHOP DRAWINGS PRIOR TO FABRICATION TO STARBUCKS DESIGNER FOR APPROVAL.

#### SIGNAGE SCHEDULE:

ITEM#	QTY	DESCRIPTION
<b>LOGOS</b>		
S252	1	WINDOW DGL 24" ILLUM
<b>EXTERIOR</b>		
S412	3	SINGLE LINE FACE LIT 18"



STARBUCKS  
COFFEE COMPANY  
2901 UTAH AVENUE SOUTH  
SEATTLE, WASHINGTON 98134  
(206) 318-5275

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CONSULTANTS

REV DATE JC DESCRIPTION

STARBUCKS COFFEE  
PROJECT:  
**LANDESS & DEMPSEY**  
1487 LANDESS AVENUE  
MILPITAS, CA 95035  
COUNTY: SANTA CLARA

PROJECT NO. 12629-001  
CONCEPT: EB - AROMA 3  
ISSUE DATE: 9/25/03  
PM: D. WRIGHT  
JC: D. BUSH  
CHECKED: C. OFFICER  
C. M. CHKD: ZEDEN JONES

SCALE: 1/4" = 1'-0"  
(DO NOT SCALE DRAWINGS)

SHEET TITLE  
**STOREFRONT  
ELEVATIONS &  
SIGNAGE**

A2.0  
PROJECT CODE: 1262901



# FINISH SCHEDULE

MATERIAL SPEC	FLOOR	1	BASE	4	5	CEILING	8
A. BAR/PRP AREA	SHEET VINYL						
B. RESTROOMS	SEAL CONCRETE	X					
C. WORKROOM/STORAGE	CERAMIC TILE	X					
D. SEATING/SALES AREA	WOOD	X					
	INT. COVE CERAMIC BASE		X				
	WOOD BASE		X				
	F.R.P.			X			
	PAINTED CYP BOARD			X			
	WANDSOT			X			
	ACOUSTIC TILE				X		
	WASHABLE LAY-IN PANELS				X		
	SEALED WOOD TOPS				X		
	PAINTED CYP BOARD				X		
	OPEN TO ABOVE					X	

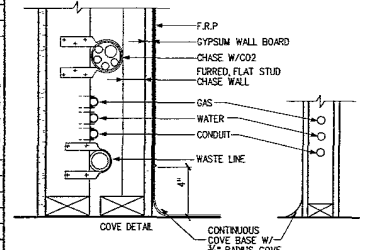
MATERIAL KEY:

- 70% LIGHT REFLECTANCE - SCRUBBABLE, WASHABLE SURFACE
- 12" X 12" X 1/4" THK CERAMIC TILE
- 0.90 FIBERGLASS REINFORCED POLYESTER BOARD (FRP)
- 70% LIGHT REFLECTANCE - SCRUBBABLE, WASHABLE FINISH
- 70% LIGHT REFLECTANCE, 1/4" MDF MELAMINE
- 70% LIGHT REFLECTANCE, SEM-GLOSS PAINTED GYP. BOARD
- PAINTED CYP WALL BOARD
- 2" X 4" VINYL FACED ACT.
- 2" X 2" USG ACT.

CEILING TILES & WORKROOM SHALL BE 0.90 FIBERGLASS REINFORCED POLYESTER BOARD (FRP) WITH CORPUSCULUM DRUM LAY-IN PANELS "COMPLIANT" VINYL FACED 1/4" THICK (ITEM # 320)

ADDITIONAL NOTES:

- THREE COMP. SINK SHALL HAVE SPRAY UNIT P355, TWO BRASS/BRONZE WORKS MODEL P153W D109-1 TO RINSE ITEMS WHICH WILL NOT FIT IN THE SINK COMPARTMENT.
- REFER TO SHEET A10/SITE MAP FOR LOCATION OF OUTDOOR TRASH ENCLOSURE



2 TYPICAL WALL AND BACKBAR SECTIONS  
NOT TO SCALE

GENERAL CONTRACTOR TO ORDER & INSTALL WINDOW SHADES AS INDICATED ON THIS PLAN. SEE ALSO SC.3. ALLOW 6 WEEKS LEAD & READY FOR STORE OPEN.

ALL TENANT IMPROVEMENT PER CALIFORNIA A.D.A. REQUIREMENTS

## PLUMBING SCHEDULE:

ITEM	QTY	DESCRIPTION
FIXTURES		
P002	1	DIPPERWELL
P007	2	SINK WATER TOWER
P017	2	SINK STD FOR RESTROOM
P026	1	SINK - WORKROOM 3 COMPART
P034	2	SINK FLOOR - 12" SQ
P035	1	FLOOR DRAIN - 5" SQ
P036	1	MOP SINK
P050	1	WORK SINK
P051	1	HAND SINK

ITEM	QTY	DESCRIPTION
FAUCETS		
P352	1	FAUCET DIPPERWELL
P353	1	FAUCET BACKBAR WORKSINK
P354	3	FAUCET HANDSINK SAYCO
P355	1	WORKSINK FAUCET PRE-RINSE
P356	1	FAUCET & BRACKET FOR MOP
P358	1	OUTDOOR SPOUT
P360	1	FAUCET 14" WORKROOM ADD-ON
P373	2	TOWER 14" WATER DISPENSER

ITEM	QTY	DESCRIPTION
ACCESSORIES		
P803	2	PIPE PROTECTOR
P804	2	FLOOR SINK HALF WIRE GRATE
P806	1	WATER HEATER

## FURNITURE SCHEDULE:

ITEM	QTY	DESCRIPTION
TABLES		
F039	2	TABLE ADA KNOCKDOWN CHERRY
F054	2	TABLE, SIDE ROCK MANHATTAN
F060	6	TABLE TOP 24" CHERRY PLAIN
F061	3	TABLE TOP 32" CHERRY PLAIN

ITEM	QTY	DESCRIPTION
CHAIRS		
F189	30	CHAIR, CAFE WALNUT FINISH
F400	4	CHAIR, ARM AROMAS MOHAR PLUM

ITEM	QTY	DESCRIPTION
EXTERIOR		
F605	14	CHAIR OUTDOOR BUOU WOOD SEAT
F609	6	TABLE OUTDOOR 28" - BUOU
F617	1	TABLE OUTDOOR BRONZE ADA

ITEM	QTY	DESCRIPTION
MISC		
F702	1	SHELF WALL MOUNT MANAGER W/S
F710	1	DESK MANAGER 30"X50"X30-1/2"H

ITEM	QTY	DESCRIPTION
ACCESSORIES		
F855	9	BASE, TABLE BLACK WINKLE

## EQUIPMENT SCHEDULE:

ITEM	QTY	DESCRIPTION
GRINDING		
E004	1	GRINDER - COFFEE

ITEM	QTY	DESCRIPTION
BREWING		
E152	1	BREWER - TWIN COLUMBIA
E162	2	ESPR. MACH. VERISMO CTS2 ADA

ITEM	QTY	DESCRIPTION
WATER SYSTEMS		
E201	1	WATER SYSTEM - 1"

ITEM	QTY	DESCRIPTION
REFRIGERATION/ICE		
E301	1	UNDERCOUNTER REFRIG
E310	1	DELFIELD 3-DOOR REFRIGERATOR
E313	1	ICE MACHINE (AIR - 500")
E318	1	ICE BIN - 500 LB
E335	1	UNDERCOUNTER REFRIG
E338	1	FOOD CASE A -STORE W/ INSERT

ITEM	QTY	DESCRIPTION
DISHWASHERS		
E451	1	SANITIZER, HOBART

ITEM	QTY	DESCRIPTION
MISC		
E526	1	WSTA HOT TAP
E529	2	COFFEE WARMER PAD
E532	2	BLENDER
E533	1	SCALE W/ TOWER READOUT
E545	1	MONEY COUNTER
E556	1	SAFE-INTERACTIVE SECURITY LH

ITEM	QTY	DESCRIPTION
ACCESSORIES		
E806	2	COFFEE SHUTTLE

## MISCELLANEOUS SCHEDULE:

ITEM	QTY	DESCRIPTION
MISC		
M006	1	NY TIMES RACK
M012	2	CONDIMENT TRASH DROP
M017	1	MOCHA PUMP CONTAINER
M018	1	BEAN DRAWER LINER 1/4" KIT
M023	1	LOCKERS - STD 10 COMPARTMENT
M026	1	UTILITY HOOK STRIP 46"
M027	2	ROBE HOOK SINGLE
M032	10	SHELVES BACKROOM 18"X36" 5/BOX
M033	10	POSTS BACKROOM 7"ZINC 4/BOX
M034	6	24 OZ. CUP HOLDER
M035	4	12 OZ. CUP HOLDER
M043	1	FIRE EXTINGUISHER
M044	2	RECEPTACLE TRASH OUTDOOR BLACK
M045	1	KEYBOARD TRAY
M047	1	BULLETIN BOARD
M048	2	SIGN RESTROOM ADA CALF SET
M049	1	FILE CABINET
M054	3	SOAP DISPENSER LAVATORY MNTD
M056	4	FULL PAPER TOWEL DISPENSER
M059	2	GRAB BAR 2" X 48IN
M060	2	GRAB BAR 2" X 36"
M062	2	MIRROR
M063	2	DISPENSER TOILET PAPER
M064	2	SEAT COVER DISPENSER
M067	1	MOP RACK
M072	2	24" WORKROOM WIRE SHELF KIT
M094	1	PLASTIC CORNER GUARDS (5)
M099	1	METAL CORNER GUARDS
M101	3	MULTI-USE BRACKET-BRASS
M115	1	CONDIMENT BAR TOP ASSEMBLY

## GENERAL NOTES

- NUMERICAL NOTES NOT LISTED ARE NOT USED.
- FOR TAGGING OF WALL HUNG ART, SEE ELEVATION SHEETS.
- COMPOSITE PLAN NOTES
- FOR COMPLETE SCHEDULES INCLUDING SUPPLY RESPONSIBILITY, SEE SHEETS SC1 THROUGH SC3.
- THE SPACE IS SERVED BY THE MUNICIPAL WATER MAIN SEWER SYSTEM UNLESS OTHERWISE NOTED.
- EDIBLE PRODUCTS TO BE PHYSICALLY SEPARATED FROM STORAGE OF NON-EDIBLE OR TOXIC PRODUCTS.
- NO VEGETABLE OR FOOD PREPARATION ON THE PREMISES.
- NO ALCOHOLIC BEVERAGES TO BE SOLD OR CONSUMED ON THE PREMISES.
- THE MAXIMUM NUMBER OF EMPLOYEES PER SHIFT SHALL NOT EXCEED 4.
- EACH HANDWASHING SINK WILL HAVE A SINGLE SERVICE TOWEL AND SOAP DISPENSER.
- ALL EQUIPMENT AND INSTALLATION WILL MEET NSF STANDARDS OR EQUIVALENT.
- ALL EQUIPMENT TO STAND A MIN OF 8" OFF FLOOR AND/OR COUNTER.
- EQUIPMENT UNITS SHALL CONTAIN NO EXPOSED THREADS, DOWELMENTS OR OVERHANGING EDGES THAT SERVE AS PLACES FOR ACCUMULATION OF DUST, DIRT AND DEBRIS.
- ALL HAND SINKS TO HAVE A COMBINATION FAUCET OR PREMIXING FAUCET.
- CONTRACTOR TO SECURE LOCKERS TO WALL AND/OR FLOOR.
- CONTRACTOR TO PLACE FIRE EXTINGUISHER IN WORKROOM PER FIRE INSPECTOR.
- ALL MOVABLE ROUND TABLES INCLUDE ONE BLACK METAL BASE (TAS F855). SEE SCHEDULE FOR QUANTITY.
- SEE SHEET A3.2 FOR LOCATION.
- GC TO SCHEDULE WITH LOCAL REFRIGERATION CONTRACTOR TO CONDUCT INITIAL FOOD CASE START-UP AND TESTING FOR APPROVED CONTRACTOR. CONTACT STRUCTURAL CONCEPTS, 6014 MELISSA GLASSNER (800) 433-9489 or 251. ALLOW MINIMUM 3 WEEK LEAD TIME PRIOR TO STORE TURNOVER.
- NOT USED.
- GC TO REVERSE DOOR HINGE ON UNDERCOUNTER REFRIGERATOR TO LEFT-HAND SWING, AS SHOWN.
- GC TO COORDINATE NY TIMES FUTURE ORDERING CALL 877-787-3350 TO ARRANGE TO HAVE THIS FUTURE DROP SHIPPED. ALLOW 1 WEEK LEADTIME.

**STARBUCKS COFFEE**

1997 STARBUCKS CORPORATION

**STARBUCKS COFFEE COMPANY**  
3401 UTAH AVENUE SOUTH  
SEATTLE, WASHINGTON 98134  
(206) 318-1575

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CONSULTANTS

REV	DATE	JC	DESCRIPTION
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STARBUCKS COFFEE  
LANDESS & DEMPSEY  
1487 LANDESS AVENUE  
MILPITAS, CA 95035  
SANTA CLARA

PROJECT NO. 12629-001  
CONCEPT: EB - AROMA 3  
ISSUE DATE: 9/25/03  
PM: D. WRIGHT  
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C. M. CHIKO; ZEDEN JONES

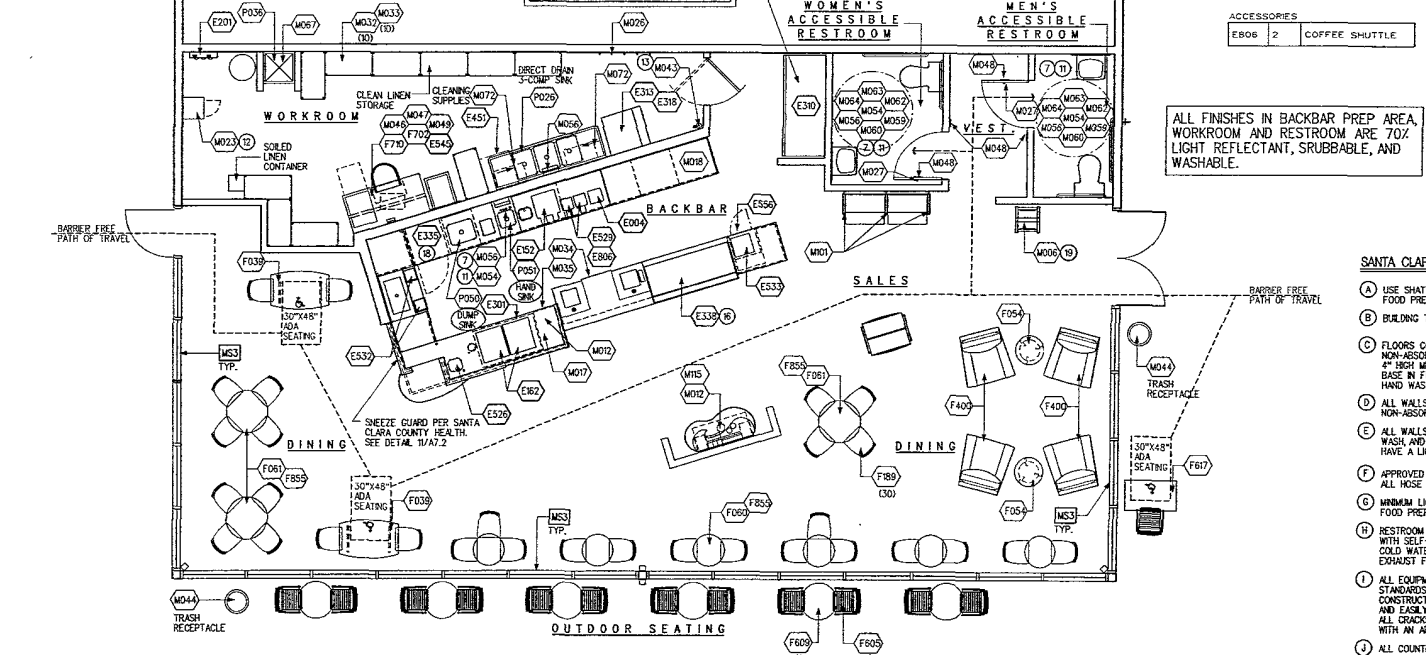
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(DO NOT SCALE DRAWINGS)

SHEET TITLE  
COMPOSITE PLAN

A4.0  
PROJECT CODE: 1262901

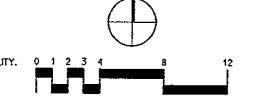
DRY STORAGE:  
10 METROS TOTAL  
5 SHELVES PER METRO  
SHELF DIMENSIONS: 1'-6" X 3'-0"  
CALCULATIONS:  
1'-6" X 3'-0" = 4.5 SF PER SHELF  
4.5 X 5 X 10 = 225 SF OF STORAGE

GC TO INSTALL 3-DOOR REFRIG. PRIOR TO PASTRY CASE INSTALLATION



## SANTA CLARA COUNTY HEALTH DEPARTMENT NOTES:

- USE SHATTER SHIELDS AT ALL LIGHTING OVER FOOD PREP AREAS.
- BUILDING TO BE FULLY ENCLOSED AND VERM-PROOF.
- FLOORS COVERINGS TO BE SMOOTH, DURABLE, NON-ABSORBENT, EASILY CLEANED SURFACES. 4" HIGH MIN. 3/4" RADIIUS CONTINUOUSLY COVERED BASE IN FOOD PREP AND STORAGE, AND TOILET/HAND WASH AREAS.
- ALL WALLS & CEILINGS TO BE SMOOTH, DURABLE, NON-ABSORBENT, AND WASHABLE.
- ALL WALLS AND CEILINGS IN FOOD PREP, UTENSIL WASH, AND WALK-IN REFRIGERATION AREAS TO HAVE A LIGHT REFLECTANCE VALUE OF 70% OR GREATER.
- APPROVED ANTI-SIPHON DEVICE TO BE INSTALLED ON ALL HOSE BBS, INCLUDING JANITOR'S SINK FAUCET.
- MINIMUM LIGHTING LEVEL OF 20 FOOT CANDLES IN FOOD PREP AREAS.
- RESTROOM TO BE PROVIDED WITHIN ESTABLISHMENT WITH SELF-CLOSING DOOR, HAND SINK WITH HOT AND COLD WATER, SOAP AND TOWEL DISPENSER, AND EXHAUST FAN.
- ALL EQUIPMENT TO MEET APPLICABLE SANITATION STANDARDS TO BE NON-TOXIC, NON-CORROSIVE, CONSTRUCTED AND INSTALLED TO BE EASILY CLEANED, AND EASILY CLEANED BENEATH.
- ALL GROUNDS AND DEVICES AT JOINTS TO BE SEALED WITH AN APPROVED MATERIAL.
- ALL COUNTERS AND CABINETS TO BE OF ACCEPTABLE QUALITY.
- 10 TOTAL METRO STORAGE UNITS



COMPOSITE PLAN